



Finance Committee Meeting

AGENDA

September 6, 2016

I. CALL TO ORDER

II. MATTERS BEFORE COMMITTEE

1. [City Hall Exterior Repairs](#)
2. [Community Building Exterior Repairs](#)
3. [FY 2017 Budget Development Calendar](#)

III. ADJOURN



Finance Committee Meeting

AGENDA

September 6, 2016

Item:

City Hall Exterior Repairs

Department:

Additional Information:

Financial Impact:

Budgeted Item:

Recommendation / Request:

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Attachments / click to download

 [City Hall Exterior Repairs](#)



CITY OF MONROE GEORGIA

SUBJECT: CITY HALL EXTERIOR REPAIRS

DATE SUBMITTED: 08/17/2016

DIVISION: N/A

AUTHORIZED BY: Logan Propes

AGENDA DATE REQUESTED: 9/6/2016

TYPE:

CONTACT PERSON: Logan Propes

DEPARTMENT: Finance

Council

Committee

Administrator

MOTION/RECOMMENDATION:

Approve the low bid of \$42,671.00 by Veteran Builders, LLC for repairs and preventative maintenance of the City Hall exterior.

OR

Approve the low bid of \$49,886.00 by Veteran Builders, LLC for repairs and preventative maintenance of the City Hall exterior.
(This is for additional pressure washing of the brick and other exterior portions of City Hall)

BACKGROUND:

The City has partnered with the Garland Company at no cost through the U.S. Communities purchasing contracts to comprehensively bid repairs and preventative maintenance on the exterior and roof of the City Hall building. Exterior and roofing assessments were completed prior to bids.

The work is covered by warranty through the Garland Company. Existing building warranties are still valid as Garland is certified to perform work that ensures applicability.

The scope of work ranges from wall repairs and re-sealing, entrance roof metal fencing repairs and painting, cleaning and painting all wood trim (excluding drive thru area), and roof maintenance and equipment restoration. Details of this work are included in an attachment. All of this work was bid out at a total of \$42,671.00 by Veteran Builders, LLC from Conyers, GA.

A line item alternate was included in this bid for pressure washing the entire building with solution and cleaning all windows for a total of \$7,215.00. If included, the total for all work will be \$49,886.00

Funding for this project can come from the remaining Public Facilities Bond funds, which was issued in 2000 for rehabilitation of several city-owned buildings. The total remaining in the Public Facilities Fund is \$97,177.18.

ATTACHMENTS:

1. City Hall repairs spec sheet and bid summary.
 2. City Hall exterior and roof assessment
 - 3.
 - 4.
- None

REVIEWED BY (INITIALS):

Legal: N/A

Finance: LHP *LHP*

Other: N/A

USER DEPT.: Finance, Administrator

SUBMITTED BY: Logan Propes


City Administrator

ADVERTISED:

Date:

Paper:

Not Required

COSTS: \$42,671.00 - \$49,886.00

FISCAL YEAR: 2016

BUDGET CODE: Public Facilities Bond Funds

AFFECTED PARTIES: Notified N/R

COUNCIL ACTION:

Approved

Approved w/Conditions

Denied

Continued to:

FUNDING SOURCE:

Capital Improvement

Operating Expense

Grant

Loan

Other

Item # 1



Garland/DBS, Inc.
 3800 East 91st Street
 Cleveland, OH 44105
 Phone: (800) 762-8225
 Fax: (216) 883-2055



ROOFING MATERIAL AND SERVICES PROPOSAL

City of Monroe
 City Hall

Date Submitted: 07/27/2016

Proposal #: 25-GA-160649

MICPA # 14-5903

LIC: GCCO003281

Please Note: The following estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Cobb County, GA and U.S. Communities. This estimate should be viewed as the maximum price an agency will be charged under the agreement. Garland/DBS, Inc. administered a competitive bid process for the project with the hopes of providing a lower market adjusted price whenever possible.

Scope of Work: Wall Repairs and Re-sealing

- 1 At all joints found at column bases, concrete cap block joints, wall penetrations, joint at transition between pre-cast concrete and brick, doors and windows, and vertical brick joints provide the followingscope of work:
 - a Remove previous joint sealant material and ensure a clean surface.
 - b Use protection to protect adjoining surfaces that could be stained.
 - c As necessary, install backer rod as necessary to control depth.
 - d Replace all removed sealant using color matched Tuff Stuff MS(white) so it completely fills recesses using concave joint profile.
- 2 At large open joint at ground level at back of building, fill with appropriate backer and seal using Greenlock Sealant XL.
- 3 At cracked or separated mortar joints, provide the following scope:
 - a Mechanically remove up to 3/8" inch depth of mortar.
 - b Blow or Vacuum out joints prior to replacement.
 - c Neatly repoint all removed mortar joints with Garland Gar-Rock or Type-S mortar.
 - d Once mortar has been applied, remove any excess material and clean with wet sponge.

Metal Fencing - Above Front and Rear Entrances:

- 1 Pressure wash all metal railings using simple green cleaner solution. Use a wire brush as needed to remove loose paint. Take care to protectthe roof system below.
- 2 Coat the metal railings with Rust-Go Primer in one coat, at a rate of 1/4gal per square per coat.
- 3 Coat the metal railings with Rust-Go Top Coat White in two coats, at arate of 1/2 gal per square per coat.

Wood Trim - Around Exterior Excluding Drive Thru

- 1 Pressure wash all wood trims and metal gutters using simple green cleaner solution. Use a scraper as needed.
- 2 Seal the existing joints with Tuff Stuff MS white caulk to fill any cracks in the joints.

- 3 Coat the wood trims only (not gutters) with a Generic Primer TBD at the recommended rates.
- 4 Coat the wood trims only (not gutters) with Tuff Coat White in two coats, at a rate of 1 1/2 gal per square per coat.

Roof Maintenance and Equipment Restoration:

- 1 Remove any and all debris from the roof surface to include walk pad pieces and abandoned wiring.
- 2 Repair the Five (5) open base flashing laps using a three course repair with Silver Flash Cement reinforced with Garmesh Garmesh.
- 3 Remove the dried failed caulking from the bases of pipes, heat vents, and penetration pockets. Reseal them using a Tuff Stuff MS urethane sealant.
- 4 Remove all repair/maintenance debris from the site.
- 5 Prep the metal curbs by pressure washing and wire brushing and scraping all loose and flaky paint or rust off to remove all loose paint, dirt, and debris from the vents.
- 6 Caulk any cracks or openings larger than an 1/8th" using Tuff Stuff MS urethane sealant.
- 7 Prime the metal with Rust- GOGO Primer at a rate of .25-.5 gal per square in one coat. Allow the primer to dry.
- 8 Coat all metal with a Gray White Knight in two coats, at a rate of 2 gal per square per coat.
- 9 Remove all restoration materials and debris from the roof and properly dispose of them.

Line Item Pricing

| Item # | Item Description | Unit Price | Quantity | Unit | Extended Price |
|----------|--|------------|----------|------|------------------|
| 23.12 | Miscellaneous Line Items: Caulking: Remove Existing Caulking & Clean and Prime Joint | \$ 1.15 | 2,000 | LF | \$ 2,300 |
| 23.14 | Miscellaneous Line Items: Install Backer Rod in Properly Prepared Opening, Polyethylene - 1/2" Diameter | \$ 0.65 | 2,000 | LF | \$ 1,300 |
| CAULKING | Caulking 1 Component Polyurethane 1/2" x 1/2" | \$ 3.97 | 2,000 | LF | \$ 7,940 |
| 23.33 | Selective Demolition of Mortar Joint with Perimeter Saw cutting – Scaffolding (low-rise): Removal of existing mortar (3/4" wide by 3/4" depth) | \$ 8.65 | 1,800 | SF | \$ 15,570 |
| 23.03 | Miscellaneous Line Items: Blow-Off Surface Area with Portable Blower to Remove Moisture | \$ 0.10 | 1,800 | SF | \$ 180 |
| 23.41 | New Pointing Work – Scaffolding (Low-rise): Furnish and install new mortar (3/4" wide by 3/4" depth) | \$ 14.59 | 1,800 | SF | \$ 26,262 |
| 23.02 | Miscellaneous Line Items: Pressure Wash to Clean Vertical Surfaces | \$ 0.47 | 2,400 | SF | \$ 1,128 |
| 5.11 | Coat New Roofing With Elastomeric Coating: ROOF SYSTEM TYPE Apply an Acrylic Coating per Specifications (1 Gallon per Square per Coat - 2 Coats Required) - | \$ 2.06 | 2,400 | SF | \$ 4,944 |
| | Sub Total Prior to Multipliers | | | | \$ 59,624 |



Facility Summary

Client: City of Monroe

Facility: City Hall



Facility Data

| | |
|------------------|------------------------|
| Address 1 | 215 North Broad Street |
| Address 2 | - |
| City | Monroe |
| State | Georgia |
| ZIP | 30655 |
| Type of Facility | Municipal |
| Contact Person | Chris Bailey |

Asset Information

| Name | Date Installed | Square Footage | Roof Access |
|-------------------|----------------|----------------|---------------------|
| Exterior Envelope | 2001 | - | |
| Low Slope Roof | 2007 | 3,900 | Internal Roof Hatch |
| Steep Slope Roof | 2001 | 18,000 | Internal Roof Hatch |



Construction Details

Client: City of Monroe

Facility: City Hall

Roof Section: Low Slope Roof

Information

| | | | |
|------------------------|---------------------|-----------------------|------------------|
| Year Installed | 2007 | Square Footage | 3,900 |
| Slope Dimension | 1/4 | Eave Height | 50 |
| Roof Access | Internal Roof Hatch | System Type | Modified Bitumen |

Details

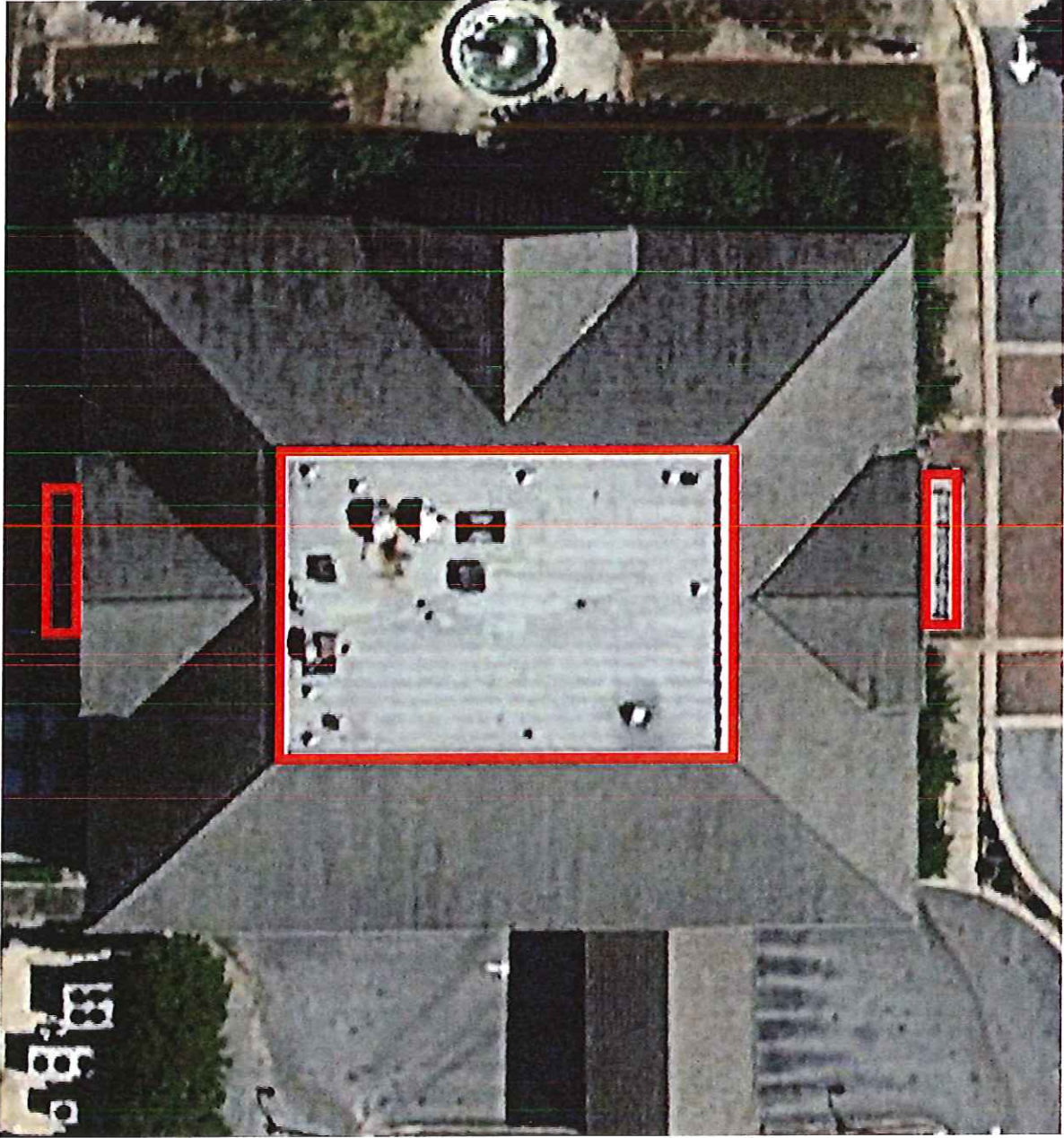
| | |
|--------------------------|----------------------|
| Perimeter Detail | Parapet Wall |
| Flashing Material | Modified Membrane |
| Drain System | Internal Roof Drains |
| Coping Cap | Metal |

Inventory

| Inventory Type | Quantity |
|----------------|----------|
| Drain | 2 |

Notes

This roof section is under the 20 year manufacturer warranty. Any repairs completed on this roof MUST be a TAMKO certified installer.



Item # 1

Roof Section Photo



Item # 1

Roof Section Drawing



Photo Report

Client: City of Monroe

Facility: City Hall

Roof Section: Low Slope Roof

Report Date: 04/20/2016

Title: Initial Inspection



Photo 1

An overview of the low slope mod bit roof section.

This roof system is nine years old and is in good condition with no current leaks. There are some minor preventative maintenance items that would benefit this roof system and help keep it performing well until next years inspection.

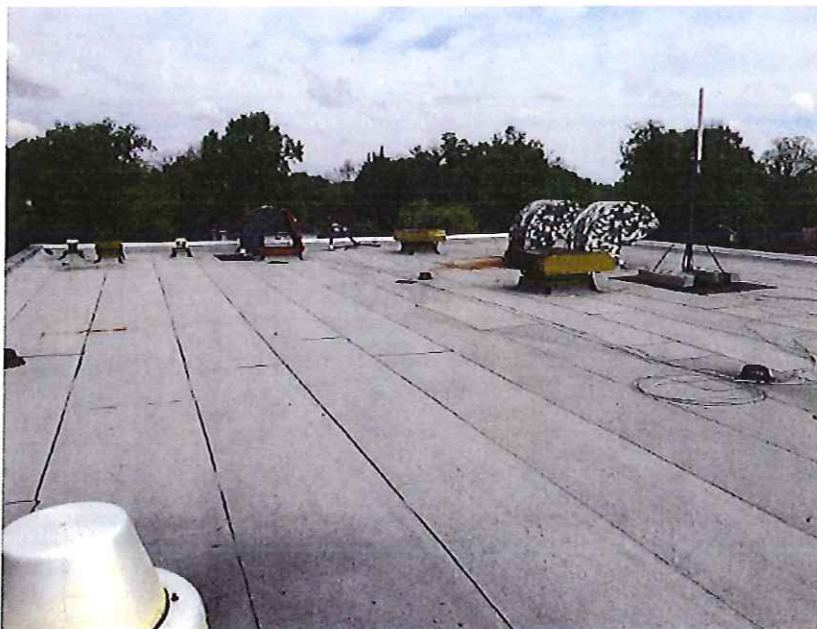


Photo 2

An overview from the opposite side of the roof area.

**Photo 3**

An overview of the drainage area. The crickets are installed correctly to divert all rain water to the roof drains. There is very little if any ponding water on this roof system/

**Photo 4**

The perimeter of this roof system has a short parapet wall around it with mod bit flashings and metal edge. All of the base flashings appeared to be in good condition.

**Photo 5**

This is one of two primary roof drains for this roof area. This roof drains internally in the middle of the roof.

**Photo 6**

This is one of two overflow drains for this roof system. If the primary drains ever fail or clog these will drain the roof.



Photo 7

A typical fan and curb for this roof section.

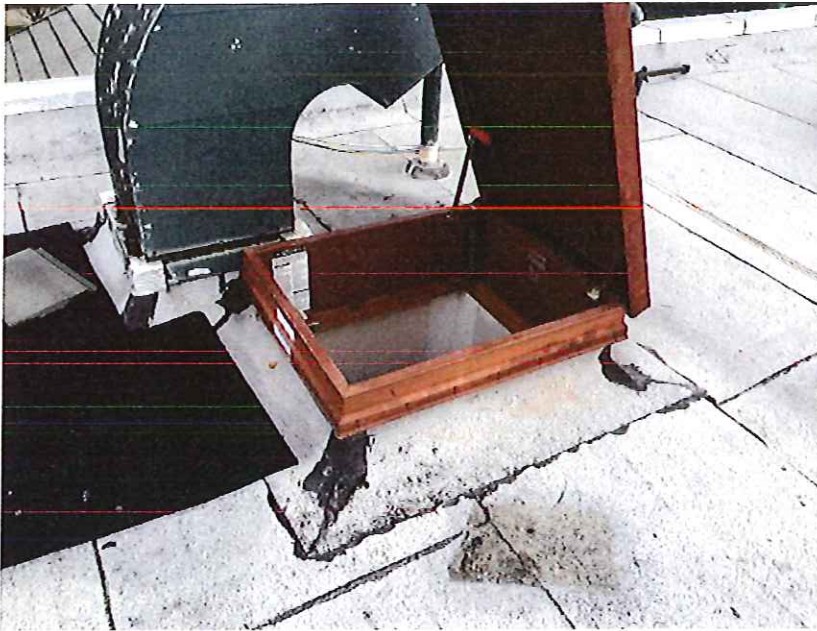
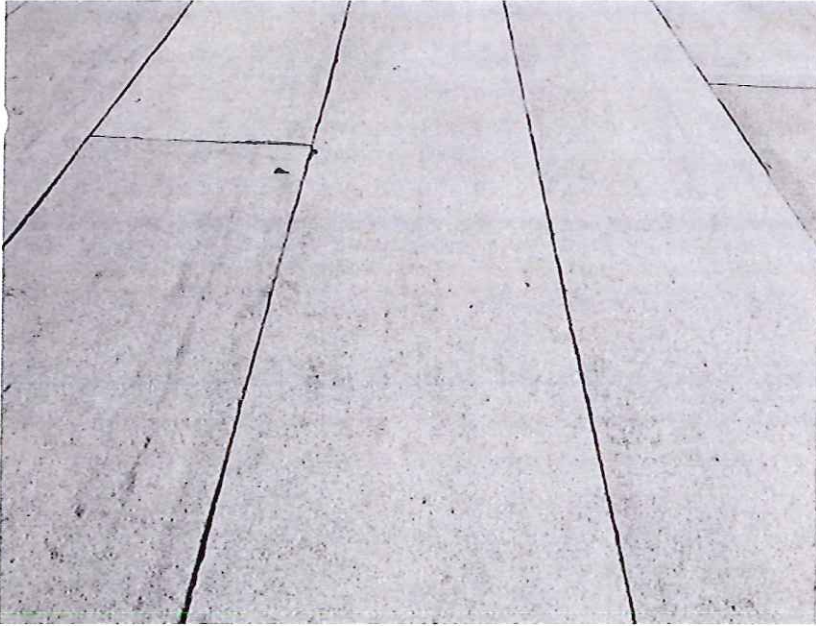
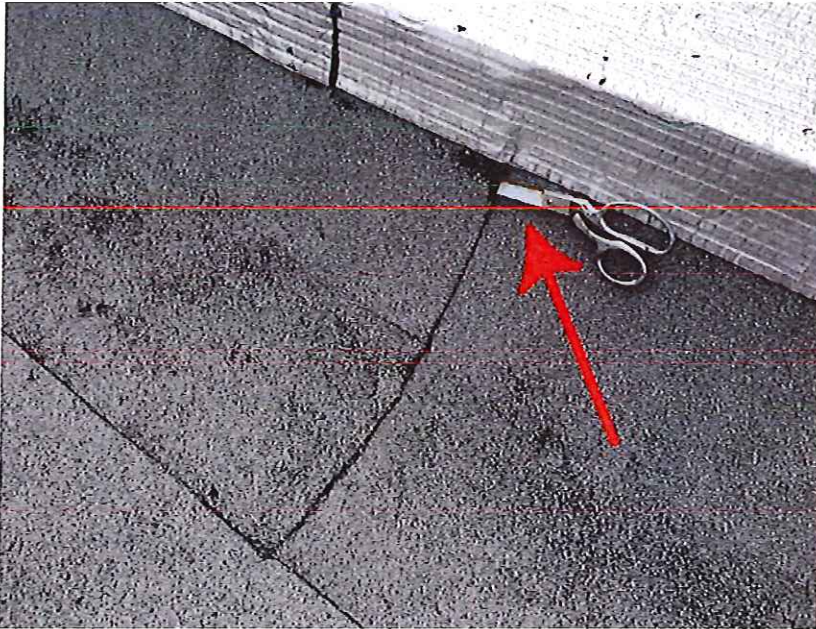


Photo 8

Access for this roof section is gained by a roof hatch and internal ladder.

**Photo 9**

The mod bit cap sheet on this roof is in good condition. There is only minor granule loss and the roof is blister and wrinkle free.

**Photo 10**

A minor repair needed on one base flashing lap as part of the preventative maintenance needed. A three course repair will seal this.

**Photo 11**

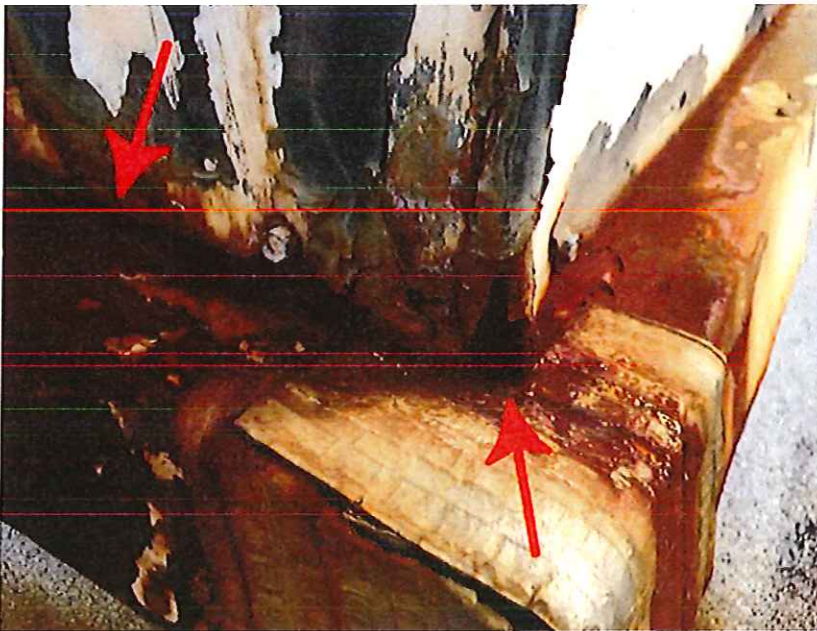
The sealants around the pipes and penetrations has dried up and pulled away from the substrate. This is a maintenance item that requires attention every so often.

**Photo 12**

The penetration pockets appeared to be in good working order and free from cracks.

**Photo 13**

There are three vents/curbs like this one that are severely rusting and staining the roof membrane.

**Photo 14**

The rust is pretty bad on the curb itself and there are some joints that need sealing in order to keep water out.

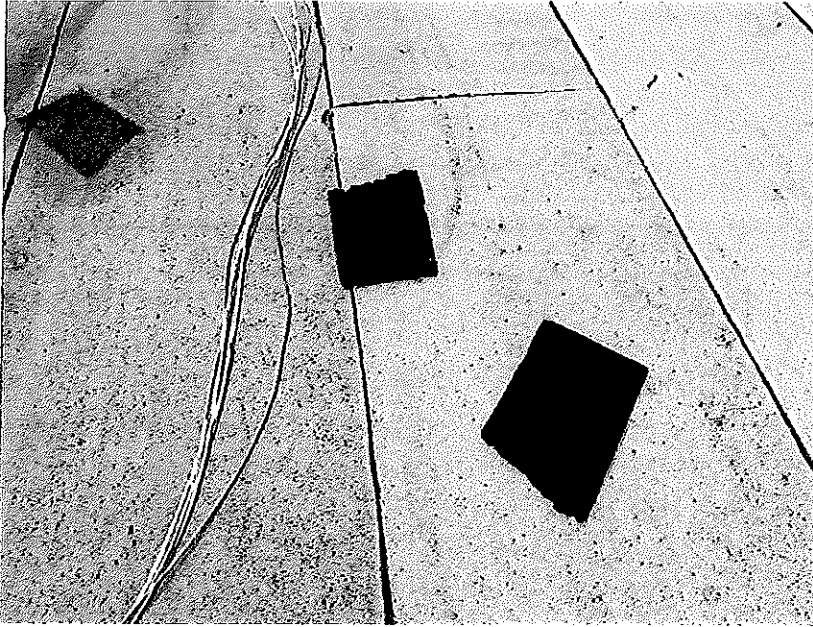
Unless treated, the rust will continue to corrode away the metal until it eats through and causes a leak or damage.

**Photo 15**

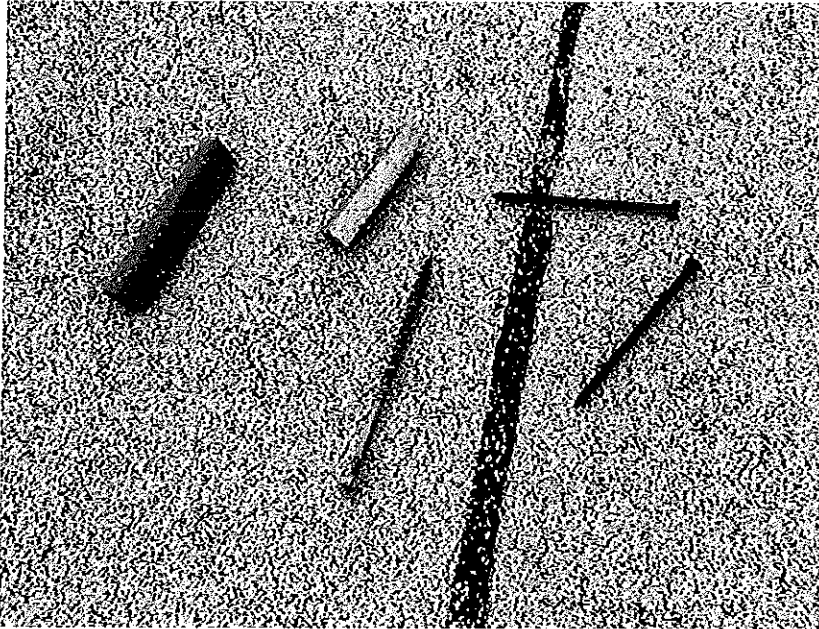
The paint on the three units is flaking off pretty much all over and the curb tops are rusting severely. Restoring these metal vents would be beneficial to the roof and the vents long term life.

**Photo 16**

Try to identify wiring on the roof and label/store it off the roof to prevent tripping and possible roof damage.

**Photo 17**

Debris on the roof system from a broken walk pad. Any excess debris on the roof could blow around and damage the roof system or hit someone if it falls off the roof.

**Photo 18**

Yearly maintenance will help keep nails and other things like this off the roof left by other people. These are potential punctures for the roof cap sheet.



Solution Options

Client: City of Monroe

Facility: City Hall

Roof Section: Low Slope Roof

Repair Options

| | | | |
|-------------------------|---------------------|-----------------------------|------|
| Solution Option: | Repair | Action Year: | 2017 |
| Square Footage: | 3,900 | Expected Life Years: | - |
| Budget Range: | \$500.00 - \$700.00 | | |

Preventative Maintenance Scope of Work

1. Remove any and all debris from the roof surface to include walk pad pieces and abandoned wiring.
2. Repair the couple of open base flashing laps using a three course repair with aluminized asphalt cement reinforced with fiberglass mesh.
3. Remove the dried failed caulking from the bases of pipes, heat vents, and penetration pockets. Reseal them using a urethane sealant.
4. Remove all repair/maintenance debris from the site.

Budget Costs: \$500.00 - \$700.00

Restore Options

| | | | |
|-------------------------|-------------------------|-----------------------------|------|
| Solution Option: | Restore | Action Year: | 2017 |
| Square Footage: | 3,900 | Expected Life Years: | - |
| Budget Range: | \$2,400.00 - \$2,900.00 | | |

Metal Curb Restoration Scope of Work

1. Prep the metal by wire brushing and scraping all loose and flaky paint or rust off to remove all loose paint, dirt, and debris from the vents. Clean the entire metal vents with rags a solvent based cleaner to remove any final dust and debris.
2. Caulk any cracks or openings larger than an 1/8th" using a urethane sealant.
2. Prime the metal with a Rust-Inhibitive Primer at a rate of .25-.5 gal per square in one coat. Allow the primer to dry.
3. Coat all metal with a White or Gray Top Coat at a rate of .5 gal per sq per coat with a two coat application.
4. Remove all restoration materials and debris from the roof and properly dispose of them.

Budget Costs: \$2,400.00 - \$2,900.00



Construction Details

Client: City of Monroe

Facility: City Hall

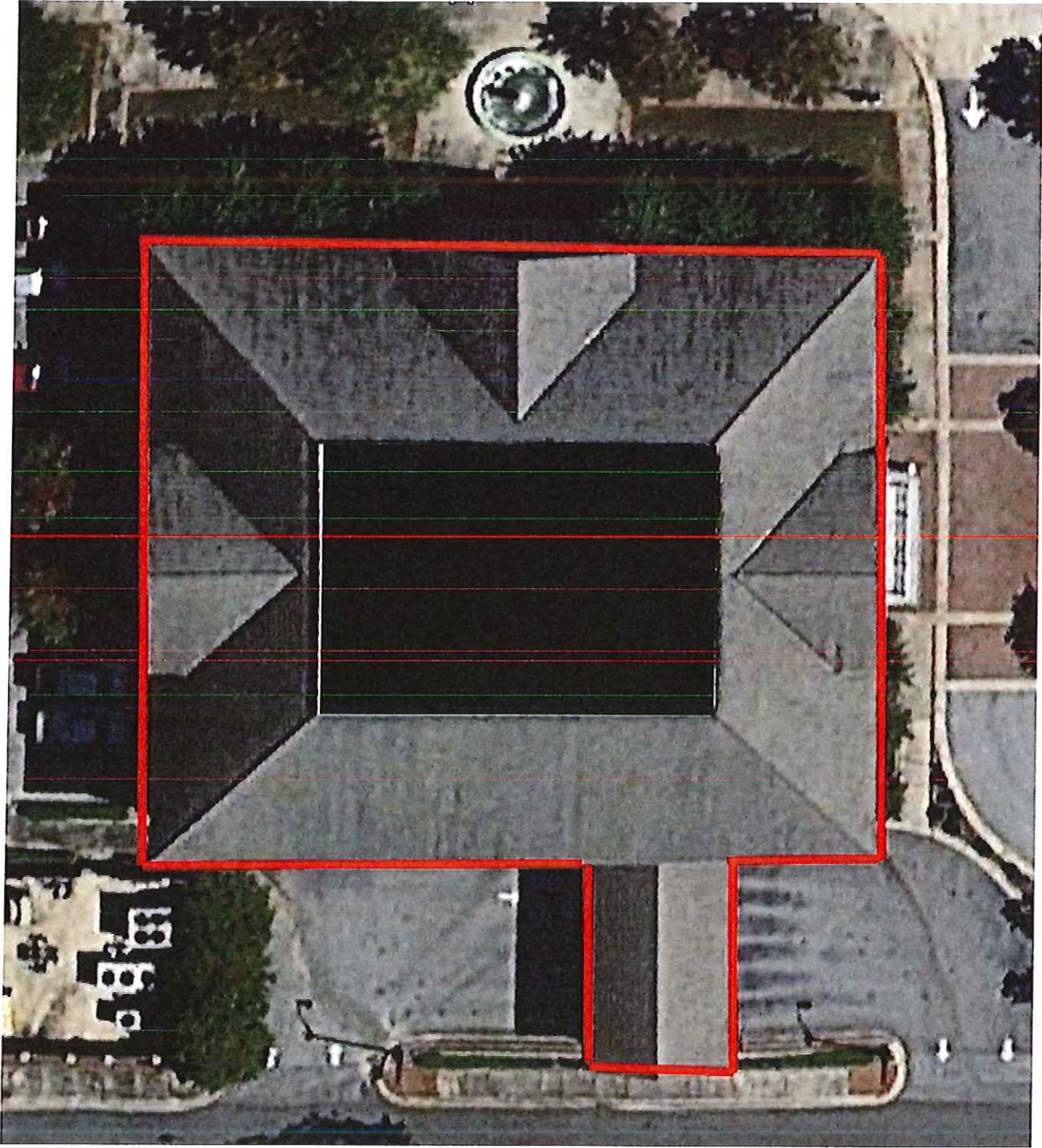
Roof Section: Steep Slope Roof

Information

| | | | |
|------------------------|---------------------|-----------------------|-------------------|
| Year Installed | 2001 | Square Footage | 18,000 |
| Slope Dimension | - | Eave Height | 50 |
| Roof Access | Internal Roof Hatch | System Type | Cementitious Tile |

Notes

These are the original roof tiles. They were removed and reinstalled during the 2007 roof project. These are NOT under any warranty.



Item # 1

Roof Section Photo



Item # 1

Roof Section Drawing



Photo Report

Client: City of Monroe

Facility: City Hall

Roof Section: Steep Slope Roof

Report Date: 04/20/2016

Title: Initial Inspection



Photo 1

An overview towards the front entrance of the steep slope tiled roof.

This roof section is in good condition and currently free from active leaks. This roof is made up of cement tiles, an underlayment, and then the deck. These are the original roof tiles for the building.



Photo 2

A side overview of the roof. There are no penetrations in this roof section which is good.



Photo 3

All hip and ridge cap tiles are in place and appear to be fastened tight.



Photo 4

The tiles are staining from the elements. While they could be cleaned, walking on them to clean them might damage them.



Photo 5

All valleys on this roof are made of metal and are free of rust.



Photo 6

A close-up view of the cement tiles on this roof section.



Photo 7

The exterior wall trim and counter flashings are stained and the paint is flaking in some areas.



Photo 8

There are failed joint sealants in several areas on the trims around the exterior. These are water entry points that can cause damage.



Photo 9

Another view of a joint in need of resealing.



Photo 10

There were only a couple of cracked tiles found during the assessment. It does not appear to be causing any leaks at this point so these areas should be monitored.

**Photo 11**

This cracked tile has the bottom corner cracked. This could slide down and fall off the roof if not repaired. Instead of replacing the tile, a structural adhesive could help hold it in place.

**Photo 12**

This section of roof all drains to a gutter and downspout system around the perimeter of the roof system. There did not appear to be any rust in the gutter at this time.



Photo 13

There was some vegetation clogging up one area of gutter that should be removed to allow for proper drainage.



Construction Details

Client: City of Monroe

Facility: City Hall

Wall: Exterior Envelope

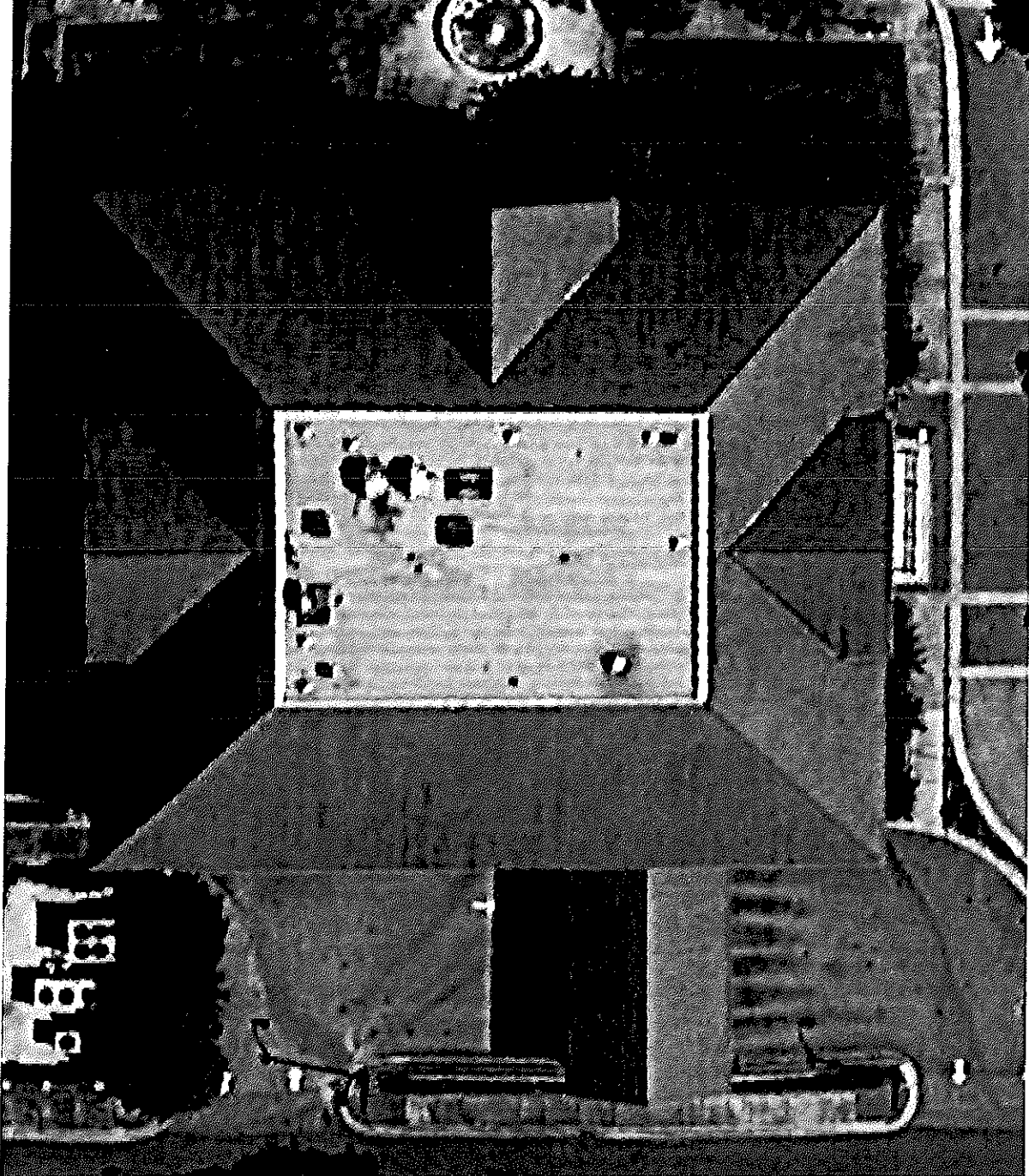
Information

Year Installed 2001

Square Footage -

Assembly

| Wall # | Layer Type | Description | Attachment | R-Value | Thickness |
|--------|------------|--------------|---------------------|---------|-----------|
| 1 | Wall | Brick Veneer | Poured - in - place | - | - |



Item # 1

Wall Photo



Item # 1

Wall Drawing



Photo Report

Client: City of Monroe

Facility: City Hall

Wall: Exterior Envelope

Report Date: 04/20/2016

Title: Initial Inspection



Photo 1

An front view The City of Monroe City Hall building.

The exterior of this building is made up of masonry brick and windows. The masonry appears to be in good conditions and free from staining and retaining moisture. There were some maintenance items found during the assessment that need attention.



Photo 2

A view of the right side of the building exterior.



Photo 3

A rear view of the two story brick exterior.

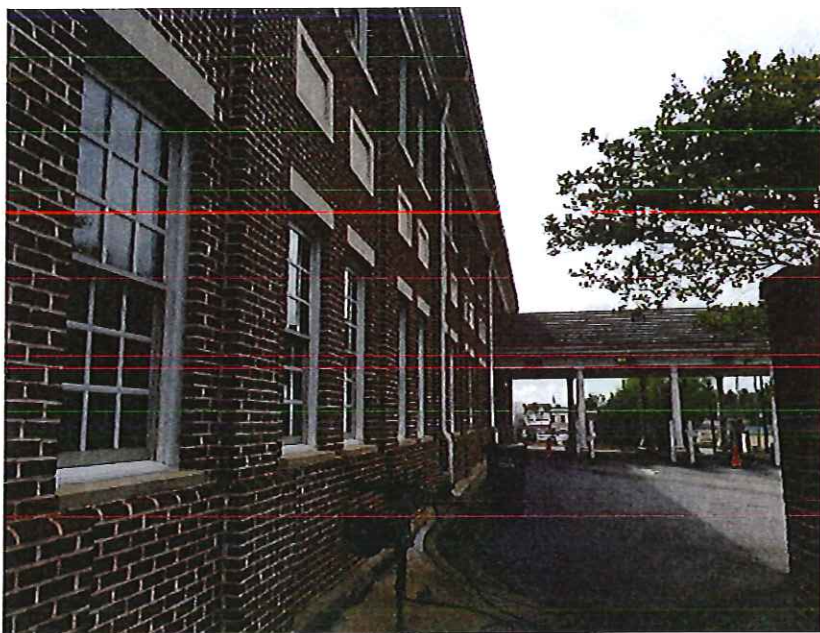
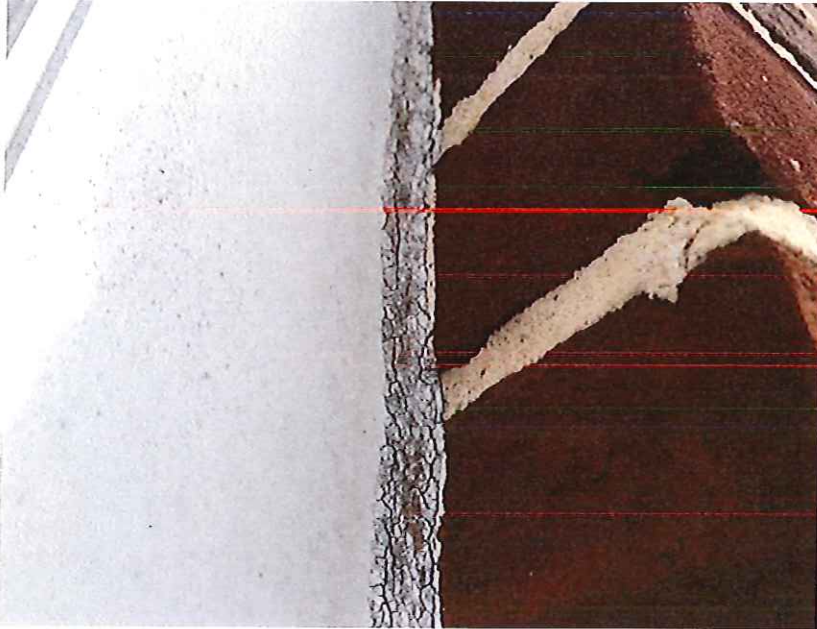


Photo 4

The right side view of the exterior along with the drive thru.

**Photo 5**

The windows for this building are framed in and have a precast concrete trim on the top and bottom of the window.

**Photo 6**

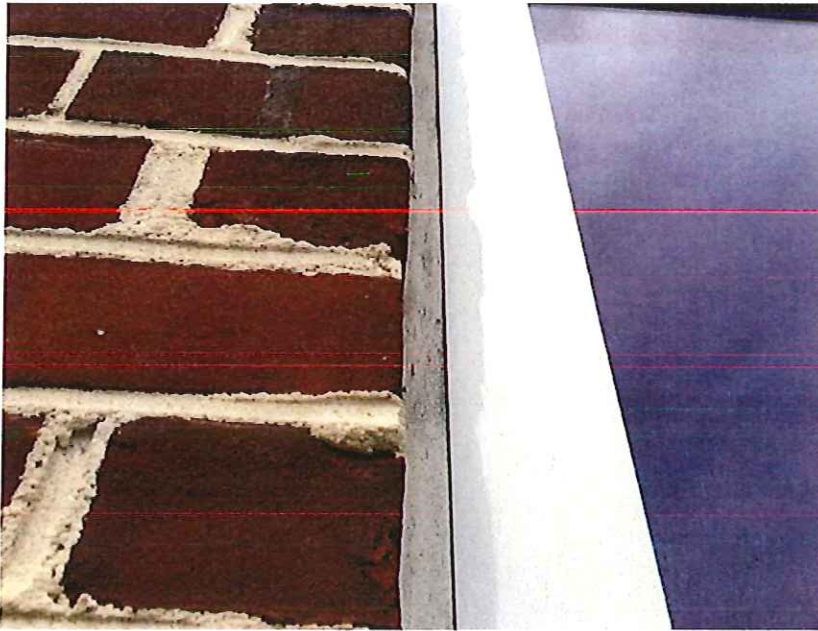
The sealants around the windows are showing signs of deterioration, cracking, and shrinking. These will need to be monitored and will need to be replaced in the future.

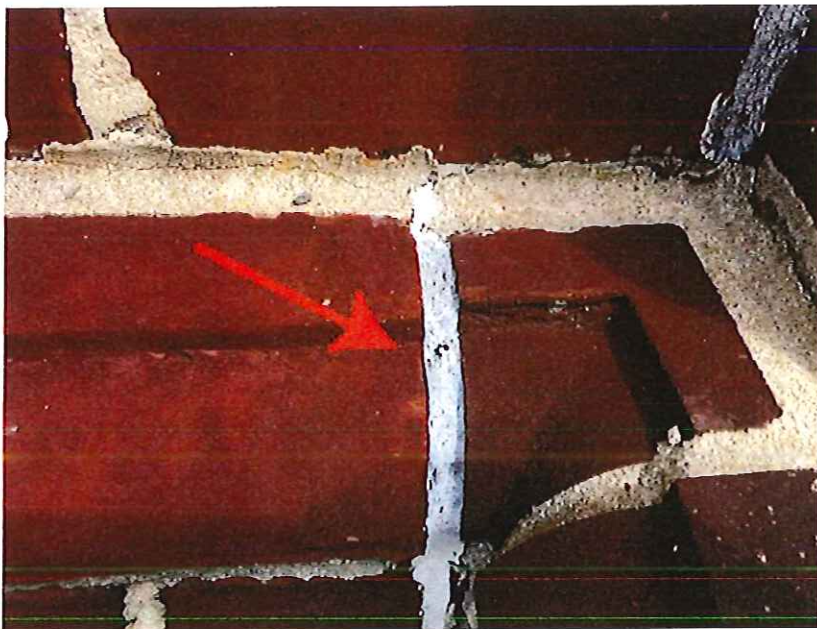
Photo 7

There were cracks found in the precast window trim. This is a possible water entry point and it will get worse over time as the water expands the crack. It doesn't appear to be causing any leak damage at this point so the cracks should be monitored and sealed during any future exterior projects.

**Photo 8**

The joints on some of the windows has broken free and is no longer functioning. These joints are in need of removal and resealing to prevent any water damage and energy cost savings from air loss.



**Photo 9**

A hole was found in the vertical expansion joint here. These areas are also in sensitive to water entry and air loss which can damage the masonry.

**Photo 10**

The exterior trim joints have opened up due to building movement and the paint is flaking in some areas. An exterior cleaning and painting should be budgeted for the future.



Photo 11



Photo 12

Any holes or penetrations not being used should be sealed to prevent water entry into the wall.

**Photo 13**

The sidewalk and building ground joint has settled over time and is allowing water down the basement wall. Since there is a floor below grade, this should be resealed to prevent water entry.

**Photo 14**

A close-up view of the ground joint that has failed. This joint is only on the rear of the building where the sidewalk is.



Photo 15

A minor masonry crack in the brick and grout joint.

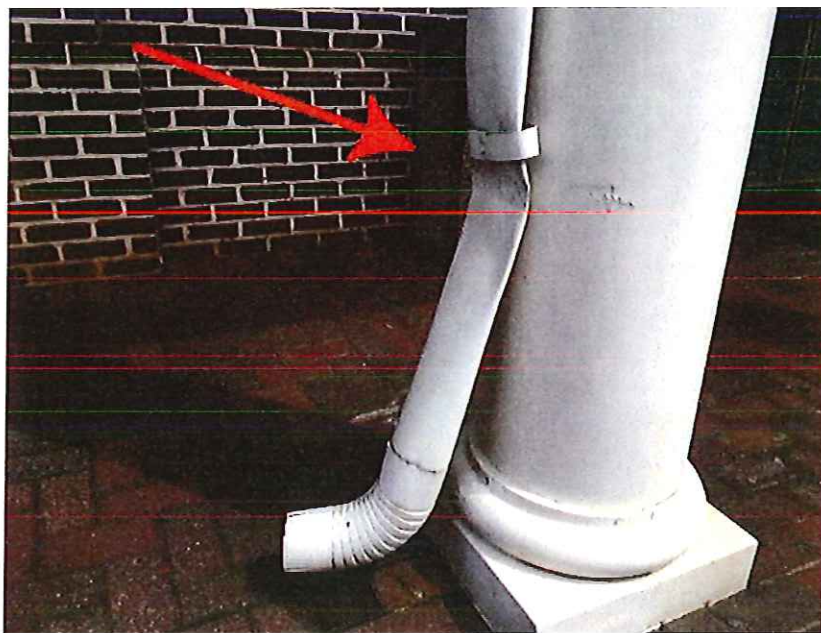


Photo 16

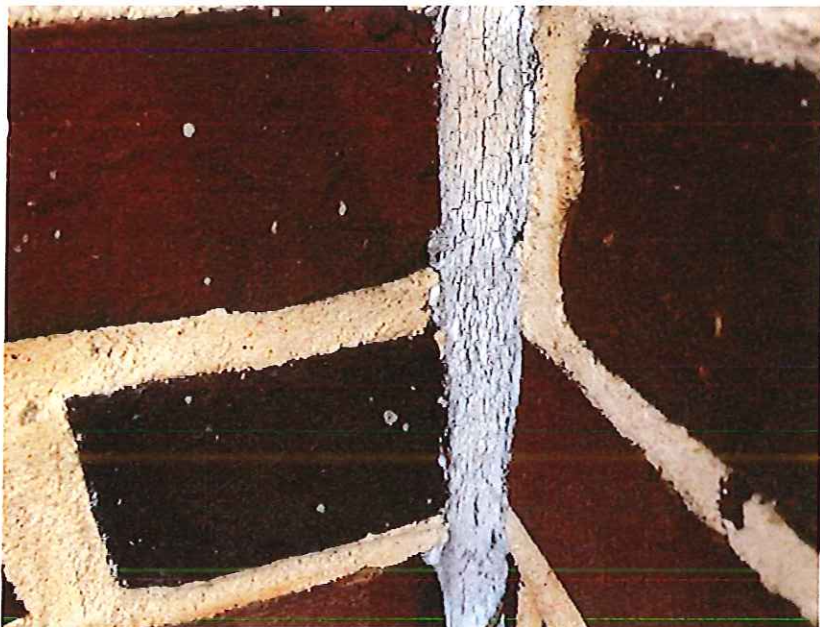
An overview of the drive thru area of the building.

**Photo 17**

The base of this column has split. This is another area that can be repaired during a future exterior project.

**Photo 18**

A damaged downspout on the front of the building by the door appears to have been hit and is not draining correctly.

**Photo 19**

The vertical expansion joints around the exterior are also showing signs of failure and deterioration. The cracking indicates that the sealant is losing its flexibility. These would be removed and resealed in an exterior envelope project.

**Photo 20**

The paint of the front canopy trim is peeling in several areas. There does not appear to be any rotten wood yet.

**Photo 21**

Another area of peeling paint. The wood is not damaged yet and could be repainted without wood replacement.

**Photo 22**

A view of the metal fence on the front canopy. The paint has deteriorated and the metal is rusting now in many locations. To prevent further damage this should be repaired.



Photo 23

A view of the rusted areas. All rust can be removed before recoating the metal.

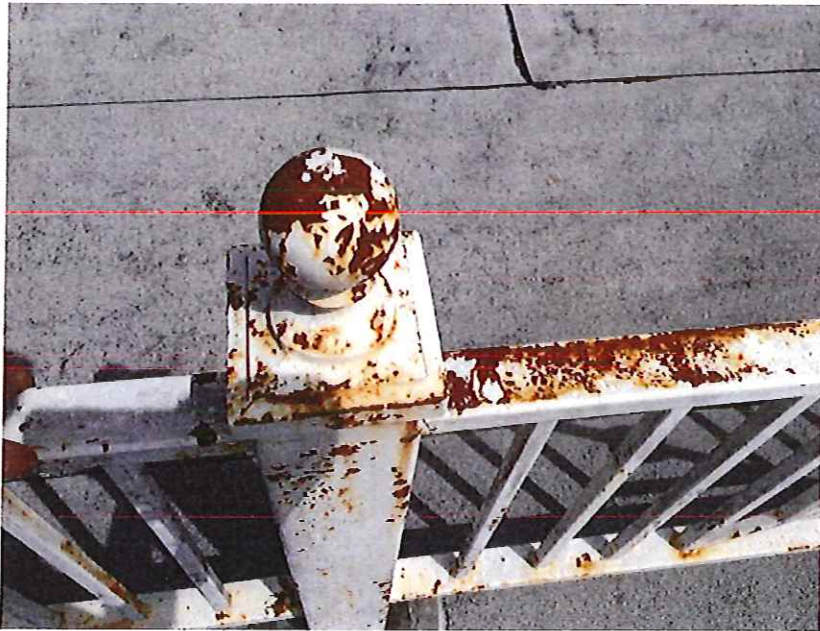


Photo 24



Solution Options

Client: City of Monroe

Facility: City Hall

Wall: Exterior Envelope

Restore Options

| | | | |
|-------------------------|---------|-----------------------------|---|
| Solution Option: | Restore | Action Year: | - |
| Square Footage: | - | Expected Life Years: | - |
| Budget: | - | | |

Exterior Scope of Work

1. Cut out all damaged and failed expansion joints.
2. Reseal all vertical and horizontal expansion joints using a polyether sealant and backerod as need to fill the joints.
3. Make any repairs need to cracked bricks and grout joints using a urethane sealant or grout to match if the area is large enough.
4. Cut out all the failed joints around the window frames.
5. Reseal all window frame joints using a urethane sealant and backerod as needed for larger joints.
6. Pressure wash the exterior of the building using a mild detergent such as simple green or something similar.
7. Prime all wood trim with the proper exterior primers.
8. Paint all trim and soffits using a desired exterior paint in the desired color.
9. Prime the decorative metal railings with a rust inhibitive primer to prevent further damage.
10. Recoat the metal railings with a white top coat for metal at a rate of .5 gal per sq.
11. Replace the damaged downspout on the front with a similar round downspout to match the existing.
12. Cut out and reseal the sidewalk/building joint on the rear of the building to prevent water entry to the basement.



Photo 23

A view of the rusted areas. All rust can be removed before recoating the metal.

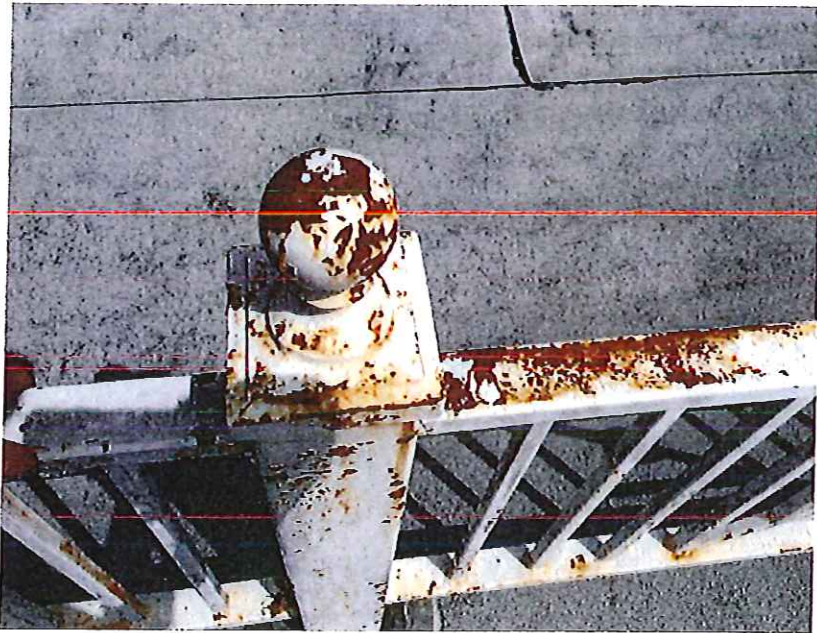


Photo 24



Solution Options

Client: City of Monroe

Facility: City Hall

Wall: Exterior Envelope

Restore Options

Solution Option: Restore

Action Year: -

Square Footage: -

Expected Life Years: -

Budget: -

Exterior Scope of Work

1. Cut out all damaged and failed expansion joints.
2. Reseal all vertical and horizontal expansion joints using a polyether sealant and backerod as need to fill the joints.
3. Make any repairs need to cracked bricks and grout joints using a urethane sealant or grout to match if the area is large enough.
4. Cut out all the failed joints around the window frames.
5. Reseal all window frame joints using a urethane sealant and backerod as needed for larger joints.
6. Pressure wash the exterior of the building using a mild detergent such as simple green or something similar.
7. Prime all wood trim with the proper exterior primers.
8. Paint all trim and soffits using a desired exterior paint in the desired color.
9. Prime the decorative metal railings with a rust inhibitive primer to prevent further damage.
10. Recoat the metal railings with a white top coat for metal at a rate of .5 gal per sq.
11. Replace the damaged downspout on the front with a similar round downspout to match the existing.
12. Cut out and reseal the sidewalk/building joint on the rear of the building to prevent water entry to the basement.



Finance Committee Meeting

AGENDA

September 6, 2016

Item:

Community Building Exterior Repairs

Department:

Additional Information:

Financial Impact:

Budgeted Item:

Recommendation / Request:

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

 [Community Building Exterior Repairs](#)



CITY OF MONROE GEORGIA

SUBJECT: COMMUNITY BUILDING EXTERIOR REPAIRS **DATE SUBMITTED:** 08/11/2016 **DIVISION:** N/A

AUTHORIZED BY: Logan Propes **AGENDA DATE REQUESTED:** 9/6/2016 **TYPE:**

CONTACT PERSON: Logan Propes **DEPARTMENT:** Finance Council
 Committee
 Administrator

MOTION/RECOMMENDATION:

Approve the low bid of \$21,895.00 by Veteran Builders, LLC for repairs and preventative maintenance of the Community Building exterior.

OR

Approve the low bid of \$27,776.00 by Veteran Builders, LLC for repairs and preventative maintenance of the Community Building exterior. (This is for additional pressure washing of the brick and other exterior portions of the Community Building)

BACKGROUND:

The City has partnered with the Garland Company at no cost through the U.S. Communities purchasing contracts to comprehensively bid repairs and preventative maintenance on the exterior and roof of the Community Building on Church St. Exterior and roofing assessments were completed prior to bids.

The work is covered by warranty through the Garland Company. Existing building warranties are still valid as Garland is certified to perform work that ensures applicability.

The scope of work ranges from wall repairs and re-sealing (largest area of work), heavy cleaning of cast concrete areas, prepping and repainting all metal hand rails and trim, and cleaning and painting all wood trim. Details of this work are included in an attachment. All of this work was bid out at a total of \$21,895.00 by Veteran Builders, LLC from Conyers, GA.

A line item alternate was included in this bid for pressure washing the entire building with solution and cleaning all windows for a total of \$5,881.00. If included, the total for all work will be \$27,776.00.

Funding for this project can come from the remaining Public Facilities Bond funds, which was issued in 2000 for rehabilitation of several city-owned buildings. The total remaining in the Public Facilities Fund is \$97,177.18.

ATTACHMENTS:

1. Community Building repairs spec sheet and bid summary.
 2. Community Building exterior and roof assessment
- None

REVIEWED BY (INITIALS):

Legal: N/A
 Finance: LHP *xhp*
 Other: N/A

USER DEPT.: Finance, Administrator

SUBMITTED BY: Logan Propes


 City Administrator

ADVERTISED:

Date:
 Paper:
 Not Required

COSTS: \$21,895.00 - \$27,776.00

FISCAL YEAR: 2016

BUDGET CODE: Public Facilities Bond Funds

AFFECTED PARTIES: Notified N/R

COUNCIL ACTION:

- Approved
 Approved w/Conditions
 Denied
 Continued to:

FUNDING SOURCE:

- Capital Improvement
 Operating Expense
 Grant Item # 2
 Loan
 Other



Garland/DBS, Inc.
 3800 East 91st Street
 Cleveland, OH 44105
 Phone: (800) 762-8225
 Fax: (216) 883-2055



ROOFING MATERIAL AND SERVICES PROPOSAL

City of Monroe
 Community Center
 Date Submitted: 07/27/2016
 Proposal #: 25-GA-160651
 MICPA # 14-5903
 LIC: GCCO003281

Please Note: The following estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Cobb County, GA and U.S. Communities. This estimate should be viewed as the maximum price an agency will be charged under the agreement. Garland/DBS, Inc. administered a competitive bid process for the project with the hopes of providing a lower market adjusted price whenever possible.

Scope of Work: Wall Repairs and Re-sealing

- 1 At all joints found at column bases, concrete cap block joints, wall penetrations, joint at transition between pre-cast concrete and brick, doors and windows, and vertical brick joints provide the followingscope of work:
 - a Remove previous joint sealant material and ensure a clean surface.
 - b Use protection to protect adjoining surfaces that could be stained.
 - c As necessary, install backer rod as necessary to control depth.
 - d Replace all removed sealant using color matched Tuff Stuff (white, natural stone, black or dark bronze) so it completely fills recesses using concave joint profile.
- 2 At large open joint at ground level at back of building, fill with appropriate backer and seal using Greenlock Sealant XL.
- 3 At cracked or separated mortar joints, provide the following scope:
 - a Mechanically remove up to 3/8" inch depth of mortar.
 - b Blow or Vacuum out joints prior to replacement.
 - c Neatly repoint all removed mortar joints with Garland Gar-Rock or Type-S mortar.
 - d Once mortar has been applied, remove any excess material and clean with wet sponge.

Cast Concrete Areas - Front Bands Under Windows and Front Face at Top

- 1 Pressure wash all Cast Concrete using simple green cleaner solution.
- 2 On heavy stains, use B-Clean masonry cleaner as needed.

Metal Front Hand Rails and High Trim

- 1 Seal the existing reglat metal above the metal using Greenlock XL sealant.
- 2 Pressure wash all metal railings and the high front metal trim using simple green cleaner solution. Use a wire brush as needed to remove loose paint.
- 3 Coat the metal with Rust-Go Primer in one coat, at a rate of 1/4 per square.
- 4 Coat the metal with Rust-Go Top Coat white in two coats, at a rate of 1/2 gal per sqare per coat.

Wood Areas - Areas Around Front, Sides and Rear Door

- 1 Pressure wash all wood trims and metal gutters using simple green cleaner solution. Use a scraper as needed.

- 2 Seal the existing joints with Tuff Stuff MS white caulk to fill any cracks in the joints.
- 3 Coat the wood trims only (not gutters) with a Generic Primer TBD at the recommended rates.
- 4 Coat the wood trims only (not gutters) with Tuff Coat White in two coats, at a rate of 1 1/2 gal per square per coat.

Line Item Pricing

| Item # | Item Description | Unit Price | Quantity | Unit | Extended Price |
|----------|--|------------|----------|------|------------------|
| 23.12 | Miscellaneous Line Items: Caulking: Remove Existing Caulking & Clean and Prime Joint | \$ 1.15 | 1,500 | LF | \$ 1,725 |
| 23.14 | Miscellaneous Line Items: Install Backer Rod in Properly Prepared Opening, Polyethylene - 1/2" Diameter | \$ 0.65 | 1,500 | LF | \$ 975 |
| CAULKING | Caulking 1 Component Polyurethane 1/2" x 1/2" | \$ 3.97 | 1,500 | LF | \$ 5,955 |
| 23.33 | Selective Demolition of Mortar Joint with Perimeter Saw cutting – Scaffolding (low-rise): Removal of existing mortar (3/4" wide by 3/4" depth) | \$ 8.65 | 135 | SF | \$ 1,168 |
| 23.03 | Miscellaneous Line Items: Blow-Off Surface Area with Portable Blower to Remove Moisture | \$ 0.10 | 135 | SF | \$ 14 |
| 23.41 | New Pointing Work – Scaffolding (Low-rise): Furnish and install new mortar (3/4" wide by 3/4" depth) | \$ 14.59 | 135 | SF | \$ 1,970 |
| 23.02 | Miscellaneous Line Items: Pressure Wash to Clean Vertical Surfaces | \$ 0.47 | 750 | SF | \$ 353 |
| 5.11 | Coat New Roofing With Elastomeric Coating: ROOF SYSTEM TYPE Apply an Acrylic Coating per Specifications (1 Gallon per Square per Coat - 2 Coats Required) - | \$ 2.06 | 750 | SF | \$ 1,545 |
| | Sub Total Prior to Multipliers | | | | \$ 13,703 |
| 22.43 | MULTIPLIER - SIZE IS GREATER THAN 2,000 SF, BUT LESS THAN 3,000 SF Multiplier Applied when Size is Less than 3,000 SF, but Greater than 2,000 SF Fixed Costs: Equipment, Mobilization, Demobilization, Disposal, & Set-Up Labor are Not Completely Absorbed Across Area | 60% | | % | \$ 8,222.04 |
| | Sub-Totals After Multipliers | | | | \$ 21,925 |

Base Bid Total Maximum Price of Line Items under the MICPA: \$ 21,925
Proposal Price Based Upon Market Experience: \$ 21,895

Competitive Bid Results:

| | |
|-------------------------------|---------------------|
| Veteran Builders, LLC | \$ 21,895.00 |
| R & D Caulking Inc. | \$ 34,790.00 |
| Western Specialty Contractors | \$ 47,184.00 |

Alternate Option #1:

1

Pressure wash the entire brick exterior of the building using simplegreen to remove dirt and debris.

2 Clean all windows using a window cleaner and squeegee.

Item # 2

Proposal Price Based Upon Market Experience:**\$****5,881****Clarifications/Exclusions:**

1. Sales and use taxes are Included. Please issue a Tax Exempt Certificate.
2. Permits are excluded.
3. Bonds are included.
4. Plumbing, Mechanical, Electrical work is excluded.
5. Masonry work is excluded.
6. Any work not exclusively described in the above proposal scope of work is excluded.

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers. Proposal pricing valid through 12/31/2016.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

Steve Rojek

Steve Rojek
Garland/DBS, Inc.
(216) 430-3613
srojek@garlandind.com



Facility Summary

Client: City of Monroe

Facility: City Hall



Facility Data

| | |
|------------------|------------------------|
| Address 1 | 215 North Broad Street |
| Address 2 | - |
| City | Monroe |
| State | Georgia |
| ZIP | 30655 |
| Type of Facility | Municipal |
| Contact Person | Chris Bailey |

Asset Information

| Name | Date Installed | Square Footage | Roof Access |
|-------------------|----------------|----------------|---------------------|
| Exterior Envelope | 2001 | - | |
| Low Slope Roof | 2007 | 3,900 | Internal Roof Hatch |
| Steep Slope Roof | 2001 | 18,000 | Internal Roof Hatch |



Facility Summary

Client: City of Monroe

Facility: Community Building



Facility Data

| | |
|------------------|------------------------|
| Address 1 | 602 East Church Street |
| Address 2 | - |
| City | Monroe |
| State | Georgia |
| ZIP | 30655 |
| Type of Facility | Municipal |
| Contact Person | Chris Bailey |

Notes

This Building is a publicly used community center. It consists of one roof section and a brick exterior. At the time of inspection, 6/1/16, there were no active leaks on the roof area or the exterior.

Asset Information

| Name | Date Installed | Square Footage | Roof Access |
|---------------------------|----------------|----------------|---------------------|
| Exterior Masonry Envelope | | 8,000 | |
| Roof Area | 2010 | 5,000 | Internal Roof Hatch |



Construction Details

Client: City of Monroe

Facility: Community Building

Roof Section: Roof Area

Information

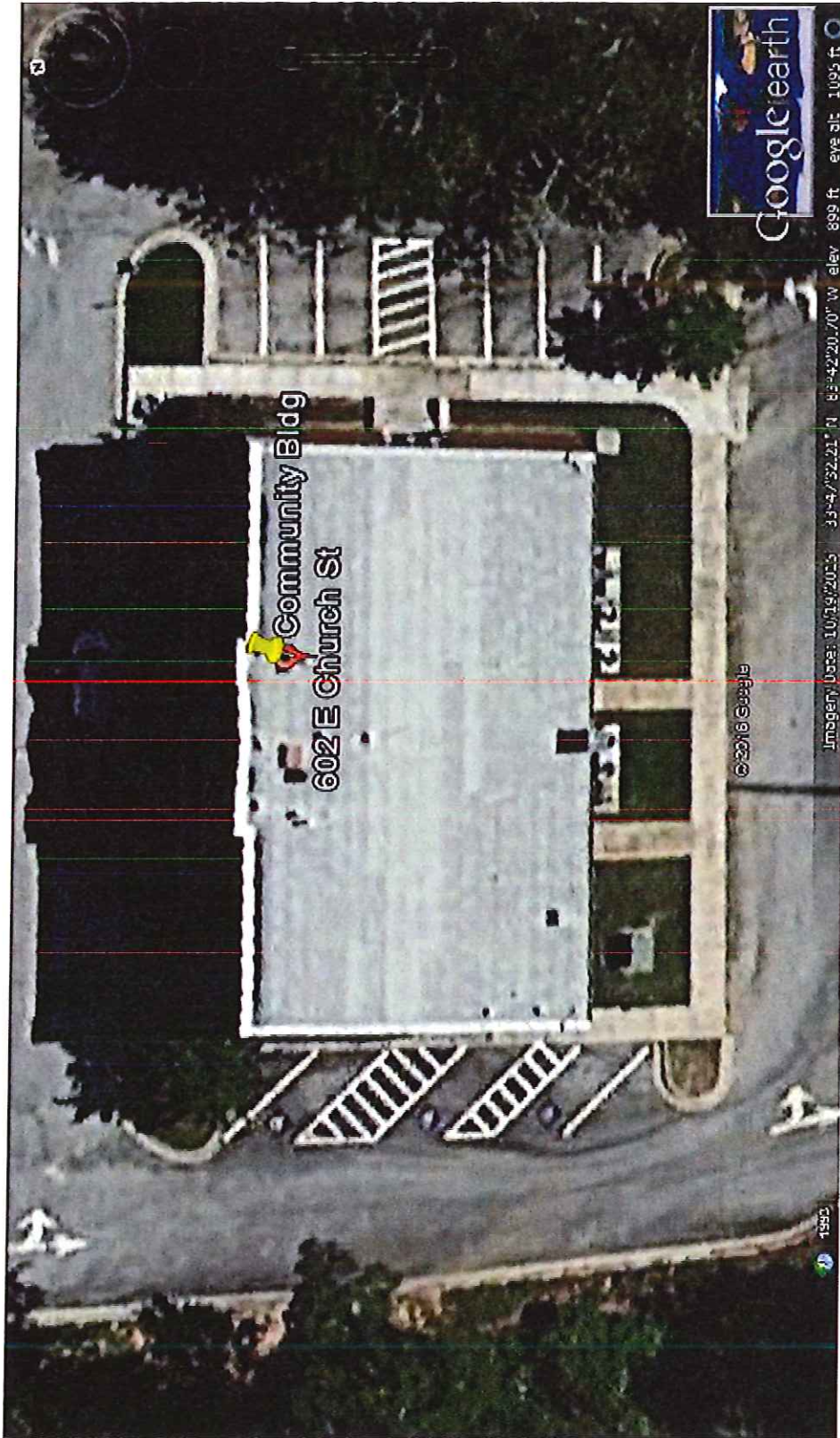
| | | | |
|------------------------|---------------------|-----------------------|------------------|
| Year Installed | 2010 | Square Footage | 5,000 |
| Slope Dimension | - | Eave Height | 30 |
| Roof Access | Internal Roof Hatch | System Type | Modified Bitumen |

Details

| | |
|--------------------------|--|
| Perimeter Detail | Parapet Wall, Wall Flashing, Drip Edge |
| Flashing Material | Modified Membrane |
| Drain System | Gutter System |
| Parapet Wall | Brick |
| Coping Cap | Membrane |

Notes

This roof system was installed 4-6 years ago and should still be under warranty. If found can be kept on file here.



Item # 2

Roof Section Photo



Photo Report

Client: City of Monroe

Facility: Community Building

Roof Section: Roof Area

Report Date: 06/22/2016

Title: photos



Photo 1

An overview of the existing Mod Bit roof system.

The system appears to be relatively new so no core sample was taken. The city can provide the warranty for attachment if desired. There were no leaks at the time of assessment.



Photo 2

Another overview.

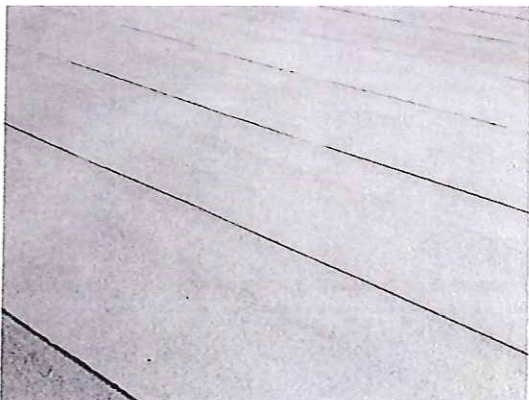
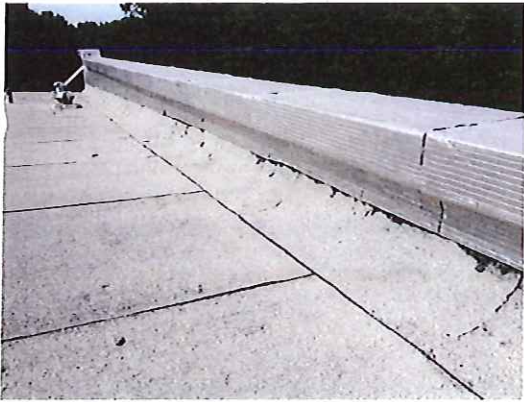


Photo 3

The cap sheet is in great shape right now and retaining its minerals well.

**Photo 4**

The flashings were taken up and onto the brick wall to prevent water entry.

**Photo 5**

There are only a few pitch pans on the roof and they have settled a little. This allows them to hold water and can lead to premature failure and leaks. During routine yearly maintenance, this should be crowned with sealant.

**Photo 6**

There were a few minor open flashings found that should be three-coursed before they get worse.

**Photo 7**

This roof drains on the rear into a gutter and downspout drainage system.



Photo 8

This roof is accessed through a roof hatch and has a walk pad on the entry side to protect the roof membrane.



Solution Options

Client: City of Monroe

Facility: Community Building

Roof Section: Roof Area

Inspection Options

Solution Option: Inspection

Action Year: -

Square Footage: 5,000

Expected Life Years: -

Budget: -

Recommendations are:

- half day of preventative maintenance



Construction Details

Client: City of Monroe

Facility: Community Building

Wall: Exterior Masonry Envelope

Information

Year Installed -

Square Footage 8,000

Notes

This brick exterior appears to be the original exterior with some updating and repairs completed approx. 10 yrs ago.



Item # 2

Wall Photo



Photo Report

Client: City of Monroe

Facility: Community Building

Wall: Exterior Masonry Envelope

Report Date: 06/22/2016

Title: photos



Photo 1

An overview of the front elevation at the Community Center.

During the assessment, there were no leaks reported by the maintenance team for this facility. There were several maintenance items that were noticed.

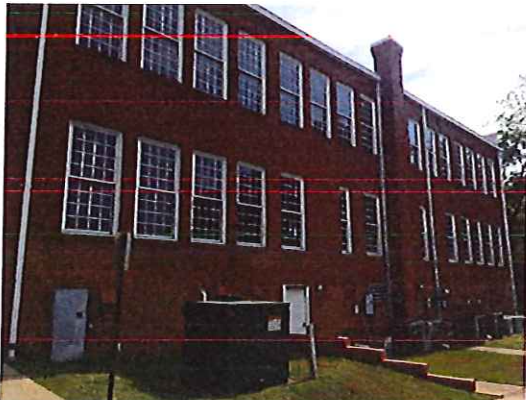


Photo 2

An overview of the rear elevation. You can notice the walk out basement on this elevation.

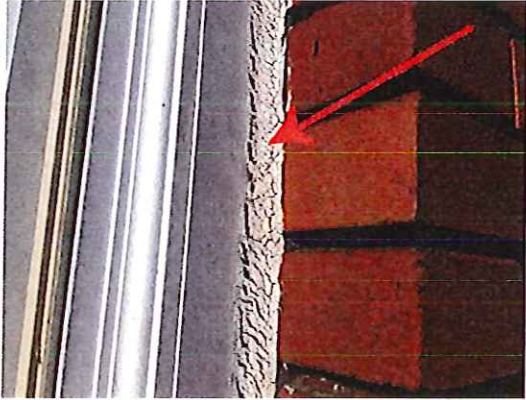


Photo 3

The paint around the buildings wood trim is fading and chipping in some areas.

**Photo 4**

An overview to show the style and casing of the typical window on this building.

**Photo 5**

The joints on pretty much every window have failed and are ready for replacement. These have dried up and the water tight seal is broken.

**Photo 6**

Another example of a failed window joint, this example is on the second story window.

**Photo 7**

This metal band runs the front length of the building. The paint is peeling in several areas and the metal is showing signs of rust in some areas. The maintenance team said it was just painted a couple of years ago and its already peeling.

**Photo 8**

A view of the peeling paint on the metal facade trim. This is usually an indicator of either the wrong type of paint or poor prep work and priming.

**Photo 9**

The paint installed a couple of years ago, was not applied on top of the metal trim. As seen here, some water sits on the ledge and is beginning to rust the trim.

**Photo 10**

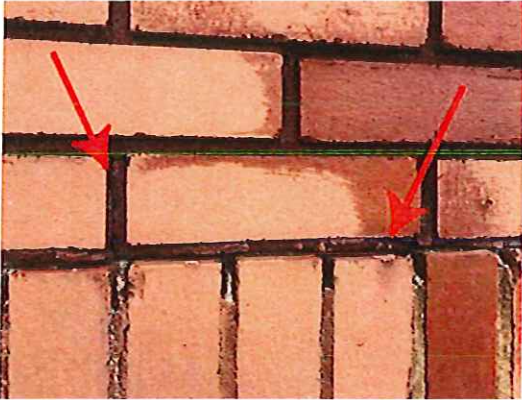
It was noticed during the assessment that the reglet metal flashing here is very loose and allowing water behind it. To prevent damage and water entry, this should be resealed.

**Photo 11**

The precast masonry moldings are stained and black from water soaking in and drainage. This can be remedied and prevented from returning.

**Photo 12**

This spider web shows an area of missing brick grout allowing not only spiders but water to enter the building.

**Photo 13**

There are numerous areas around the building where the grout has fallen out or it is loosely still in the joint.

**Photo 14**

This view shows some signs of efflorescence on the brick walls. This is caused by water getting behind the brick and then exiting through the brick and deposited the salts and minerals on the exterior.



Solution Options

Client: City of Monroe

Facility: Community Building

Wall: Exterior Masonry Envelope

Repair Options

| | | | |
|-------------------------|--------|-----------------------------|---|
| Solution Option: | Repair | Action Year: | - |
| Square Footage: | 8,000 | Expected Life Years: | - |
| Budget: | - | | |

Recommendations Would Be:

- Replace all window joints
- Pressure wash the exterior of the building
- Damp proof the precast masonry portions
- Tuck point and seal all joints missing grout
- Paint the wood and metal trims

These could be done separately or together as 1 project.



Finance Committee Meeting

AGENDA

September 6, 2016

Item:

FY 2017 Budget Development Calendar

Department:

Additional Information:

Financial Impact:

Budgeted Item:

Recommendation / Request:

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

 [Budget Calendar](#)



CITY OF MONROE GEORGIA

SUBJECT: FY 2017 Budget Development Calendar **DATE SUBMITTED:** 08/24/2016 **DIVISION:** N/A

AUTHORIZED BY: Logan Propes **AGENDA DATE REQUESTED:** 9/6/2016 **TYPE:**

CONTACT PERSON: Logan Propes **DEPARTMENT:** Finance Council
 Committee
 Administrator

MOTION/RECOMMENDATION:

Adopt the planned FY 2017 Budget Development Calendar

BACKGROUND:

Each year, the Mayor and Council along with the City Administrator and its departments develops the subsequent year's budget to take effect on January 1st. The City Administrator and Finance Department compiles budget data for discussion with the Council at various workshops during the budget development process. Included in the calendar is operations and maintenance budgets for the General Fund and Proprietary Funds along with an accompanying five-year Capital Improvement Plan (CIP).

ATTACHMENTS:

1. FY 2017 Budget Development Calendar.
 2. Budget Calendar with notes
- None

REVIEWED BY (INITIALS):

Legal: N/A
 Finance: LHP *LHP*
 Other: N/A

USER DEPT.: Finance, Administrator

SUBMITTED BY: Logan Propes


 City Administrator

ADVERTISED:

Date:
 Paper:
 Not Required

COSTS: N/A

FISCAL YEAR: 2016 for 2017

BUDGET CODE: N/A

AFFECTED PARTIES: Notified N/R

COUNCIL ACTION:

- Approved
 Approved w/Conditions
 Denied
 Continued to:

FUNDING SOURCE:

- Capital Improvement
 Operating Expense
 Grant
 Loan
 Other

FY 2017 BUDGET DEVELOPMENT CALENDAR

CITY OF MONROE

AUGUST-DECEMBER, 2016

Proposed calendar for budget development. Dates subject to change

| PROJECT PHASE | STARTING | ENDING | FINANCE PROJECT PHASE | STARTING | ENDING |
|---|--------------------------------|---------------------------|---|----------|--------|
| FINANCE CREATES BUDGET PACKETS FOR DEPARTMENTS, O&M AND CAPITAL (CIP) | August 1 st | August 19th | BUILD NEW SPREADSHEETS GENERAL FUND REVENUES | | |
| FINANCE SENDS BUDGET PACKETS TO DEPARTMENTS | August 22nd | Due September 16th | GENERAL FUND EXPENDITURES MISC FUND REVENUES/EXPEND. | | |
| FINANCE CREATES FYE 2016 PROJECTIONS | September 1st | September 30th | PROPRIETARY FUND REVENUES PROPRIETARY FUND EXPENSES | | |
| FINANCE REVIEWS, COMPILES BUDGET REQUESTS | October 1 st | October 16th | CALCULATE ADMIN AND 5% TRANSFERS | | |
| CITY ADMINISTRATOR, FINANCE, AND DEPT. HEADS REVIEW BUDGET REQUESTS | October 17th | October 28th | PREPARE O&M BUDGET DOCUMENT DRAFT | | |
| CITY COUNCIL BUDGET RETREAT SESSIONS AND BUDGET REVIEW | October 31st thru | November 11th | PREPARE CIP BUDGET DOCUMENT DRAFT | | |
| PRESENT RECOMMENDED BUDGET TO FINANCE COMMITTEE IN SPECIAL WORKSHOP | November 14 th thru | November 18 th | | | |
| 1 ST PUBLIC HEARING ON NEW BUDGET | December 6th | | | | |
| ADOPTION OF BUDGET | December 13th | | | | |

Version 8/22/16

| AUGUST | | | | | | | SEPTEMBER | | | | | | | OCTOBER | | | | | | | NOVEMBER | | | | | | | DECEMBER | | | | | | | JANUARY | | | | | | |
|--------|----|----|----|----|----|----|-----------|----|----|----|----|----|----|---------|----|----|----|----|----|----|----------|----|----|----|----|----|----|----------|----|----|----|----|----|----|---------|----|----|----|----|----|----|
| M | T | W | T | F | S | S | M | T | W | T | F | S | S | M | T | W | T | F | S | S | M | T | W | T | F | S | S | M | T | W | T | F | S | S | M | T | W | T | F | S | S |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | | | | 1 | 2 | 3 | 4 | | | | | | 1 | 2 | 1 | 2 | 3 | 4 | 5 | 6 | | | | 1 | 2 | 3 | 4 | | | | | | | 1 | |
| 8 | 9 | 10 | 11 | 12 | 13 | 14 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 2 | 3 | 4 | 5 | 6 | 7 | 8 |
| 15 | 16 | 17 | 18 | 19 | 20 | 21 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 22 | 23 | 24 | 25 | 26 | 27 | 28 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 16 | 17 | 18 | 19 | 20 | 21 | 22 |
| 29 | 30 | 31 | 26 | 27 | 28 | 29 | 30 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 28 | 29 | 30 | 26 | 27 | 28 | 29 | 30 | 31 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | | | | | | | | | | | |
| | | | | | | | | 31 | | | | | | | | | | | | | | | | | 30 | 31 | | | | | | | | | | | | | | | |

FY 2017 BUDGET DEVELOPMENT CALENDAR

- FINANCE CREATES BUDGET PACKETS FOR DEPARTMENTS, O&M AND CAPITAL (CIP)
 - **August 1st thru August 19th**
- FINANCE SENDS BUDGET PACKETS TO DEPARTMENTS
 - **August 22nd thru September 16th**
- FINANCE CREATES FYE 2016 PROJECTIONS
 - **September 1st thru September 30th**
- FINANCE REVIEWS, COMPILES BUDGET REQUESTS
 - **October 1st thru October 16th**
- CITY ADMINISTRATOR, FINANCE, AND DEPT. HEADS REVIEW BUDGET REQUESTS
 - **October 17th thru October 28th**
 - Develops draft O&M and CIP budgets
- CITY COUNCIL BUDGET RETREAT SESSIONS AND BUDGET REVIEW
 - **October 31st thru November 11th**
 - **Retreat meetings may be scheduled on weekend, weeknights, or weekdays. Staff with work with Council on best days/times.**
 - Will present draft O&M and CIP budgets, and take Council input on special projects or requests, and any other business affecting the upcoming year for city and utility services.
- PRESENT RECOMMENDED BUDGET TO FINANCE COMMITTEE IN SPECIAL WORKSHOP
 - **November 14th thru November 18th**
 - **Workshop may be scheduled on weeknight or weekday. Staff will work with Council on best day/time.**
 - The workshop will serve as a follow-up to the retreat items to ensure any adjustments are fiscally sound and reflective of the retreat's goals and objectives.
 - Final adjustments may be made here as needed.
- 1ST PUBLIC HEARING ON NEW BUDGET
 - **December 6th**
- ADOPTION OF BUDGET
 - **December 13th**